

LAND USE DATA:

LEGAL DESCRIPTION:	THAT PORTION OF TRACT 17, SUNNYBANK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 29 OF PLATS, PAGE 31, KING COUNTY, WASHINGTON, LYING NORTHWESTERLY OF A LINE MIDWAY BETWEEN AND PARALLEL TO THE NORTHWESTERLY LINE AND THE SOUTHEASTERLY LINE OF SAID TRACT.
ADDRESS:	8916 N. MERCER WAY MERCER ISLAND, WA. 98040
PARCEL NUMBER:	330770-0320-02
OWNER:	MR. & MRS. TAM
JURISDICTION:	CITY OF MERCER ISLAND
ZONING CLASSIFICATION:	SINGLE FAMILY ZONE R-15
BUILDING SETBACKS:	
FRONT YARD:	20'-0"
INTERIOR SIDE YARD:	5'-0" SUM OF TWO SIDES TOTAL 15'-0"
STREET SIDE YARD:	10'-0"
REAR YARD:	25'-0"
MAXIMUM HEIGHT OF STRUCTURE:	30'-0" ABOVE AVERAGE EXISTING GRADE ELEVATION (AEG)
MAXIMUM STRUCTURAL COVERAGE:	35%
MAXIMUM IMPERVIOUS SURFACE:	35%
MAXIMUM GROSS FLOOR AREA:	45%
AVERAGE BUILDING ELEVATION (ABE) CALCULATIONS	
IMPERVIOUS SURFACE AREA CALCULATIONS	
AREA CALCULATIONS	

SITE SYMBOL LEGEND

SITE IMPROVEMENT SYMBOLS		LINE SYSTEMS		DESCRIPTION	
SYMBOL	DESCRIPTION	LINEWORK	DESCRIPTION	LINEWORK	DESCRIPTION
[Symbol]	WATER SERVICE METERS AND CONNECTION HOODS	[Symbol]	NEW CONTOUR ELEVATIONS NOTED ON THE HIGH SIDE	[Symbol]	PROJECTED ROOF LINES
[Symbol]	STORY DRAIN STUBOUT CONNECTION	[Symbol]	EXISTING CONTOUR ELEVATIONS NOTED ON THE HIGH SIDE	[Symbol]	SETBACK LINES
[Symbol]	SANITARY SILLER STUBOUT CONNECTIONS	[Symbol]	PROPERTY AND BOUNDARY LINES	[Symbol]	EASEMENT LINES
[Symbol]	CATCH BASIN	[Symbol]	STORY DRAIN	[Symbol]	SILT FENCES
[Symbol]	CLEAN OUT	[Symbol]	FOOTING DRAIN	[Symbol]	WOOD FENCE
[Symbol]	PROPERTY CORNER	[Symbol]	ROOF DRAIN	[Symbol]	CHAIN LINK FENCE
[Symbol]	SURFACE FLOW LINE DIRECTION	[Symbol]	WATER SERVICE	[Symbol]	
[Symbol]	ROCKERY WALLS	[Symbol]	SANITARY SEWER	[Symbol]	
[Symbol]		[Symbol]	POWER	[Symbol]	
[Symbol]		[Symbol]	OVERHEAD POWER	[Symbol]	

[Symbol] = EXISTING HOUSE AND GARAGE
 [Symbol] = IMPERVIOUS CONC. PAVED

PER CITY OF MERCER ISLAND CHAPTER 14.02 SECTION 14.02.03.4 AND 6, MINOR BUILDING ELEMENTS CAN PROJECT INTO SETBACK BY 3'-0"

FIRE AREA SQUARE FOOTAGE CALCULATION

DOES THIS HOME HAVE AN EXISTING FIRE SPRINKLER SYSTEM? NO

MAIN FLOOR INTERIOR MEASUREMENT	139'-4" X 34'-4"
LOWER FLOOR INTERIOR MEASUREMENT	N/A
OTHER FLOOR INTERIOR MEASUREMENT (OFFERS)	83'-0" X 34'-4"
BASEMENT INTERIOR MEASUREMENT	56'-4" X 121' X 34'-4"
ATTACHED GARAGE INTERIOR MEASUREMENT	41'-3" X 29'-3"
COVERED DECK INTERIOR MEASUREMENT	7'-8" X 11'-8" X 3'-6" X 35'-0"
OTHER INTERIOR MEASUREMENT	N/A
TOTAL GROSS SQUARE FEET*	9383 SQ. FT.

PROJECT PROPOSAL

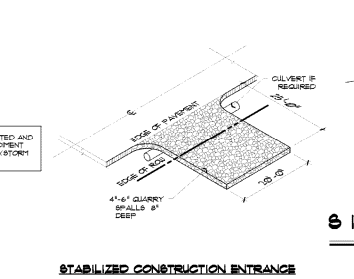
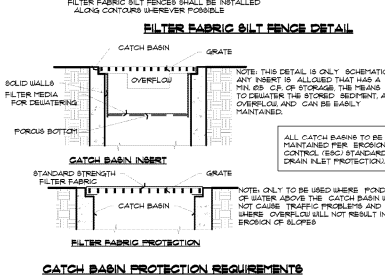
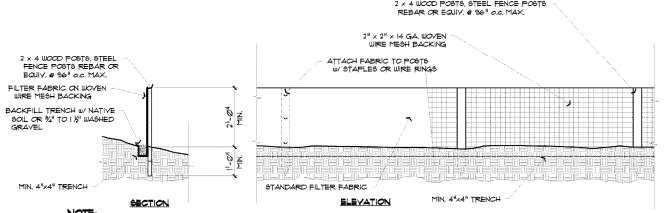
THIS PROJECT PROPOSES TO REMOVE THE EXISTING HOUSE AND BUILD A NEW SINGLE FAMILY DWELLING AT THE SAME APPROXIMATE LOCATION THAT WILL BE EXTENDED TO THE FACE OF THE EXISTING DETACHED GARAGE. THE EXISTING DETACHED GARAGE AND THE APARTMENT BELOW WILL REMAIN AS IS WITH THE EXCEPTION OF THE ROOF STRUCTURE WHICH IS INTENDED TO BE REPLACED WITH A FLAT ROOF. (CURRENT ROOF STRUCTURE IS PITCHED). ADDITIONALLY THE EXISTING CONCRETE DRIVEWAY WILL BE REMOVED AND REPLACED WITH A SMALLER FOOTPRINT IN THE PROXIMITY OF THE EXISTING DRIVEWAY AND MORE CENTERED ON THE GARAGE BUILDING.

SITE TOPOGRAPHY & FINISHED CONTOURS:

FINAL/FINISH GRADES SHALL BE IN THE SAME PROXIMITY OF THE EXISTING CONTOURS WITH "NO" SIGNIFICANT CHANGE. THEREFORE THE EXISTING CONTOURS REMAIN TO BE THE SAME AS EXISTING UNLESS NOTED OTHERWISE ON LOCALIZED LOCATIONS ON THE SITE PLAN.

LOT SLOPE

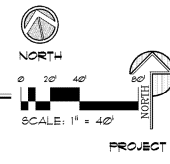
HIGHEST ELEVATION POINT OF LOT	90 FEET
LOWEST ELEVATION POINT OF LOT	73 FEET
ELEVATION DIFFERENCE	17 FEET
HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS	340 FEET @ 1:10.5%
LOT SLOPE	10.5%



EROSION AND SEDIMENT CONTROL MEASURES

NO SCALE

SITE IMPROVEMENT PLAN



VICINITY MAP

N.T.S.

SAZEI DESIGN GROUP, LLC

8808 110TH AVE. N.E.
KIRKLAND, WA. 98033
TEL: (425) 214-2280
FAX: (425) 885-6887

TAM RESIDENCE
8916 N. MERCER WAY MERCER ISLAND WA. 98040
Site Improvement Plan, Site Details and Land Use Data

Revision	Date
1	3-14-14
2	3-28-14
3	4-15-14

Feb. 20th 2014
DME Construction
MUS
SAZEI DESIGN GROUP, LLC
Sheet
A1.2
35

NOTE: SEE SYMBOL LEGEND SHEET A1.2

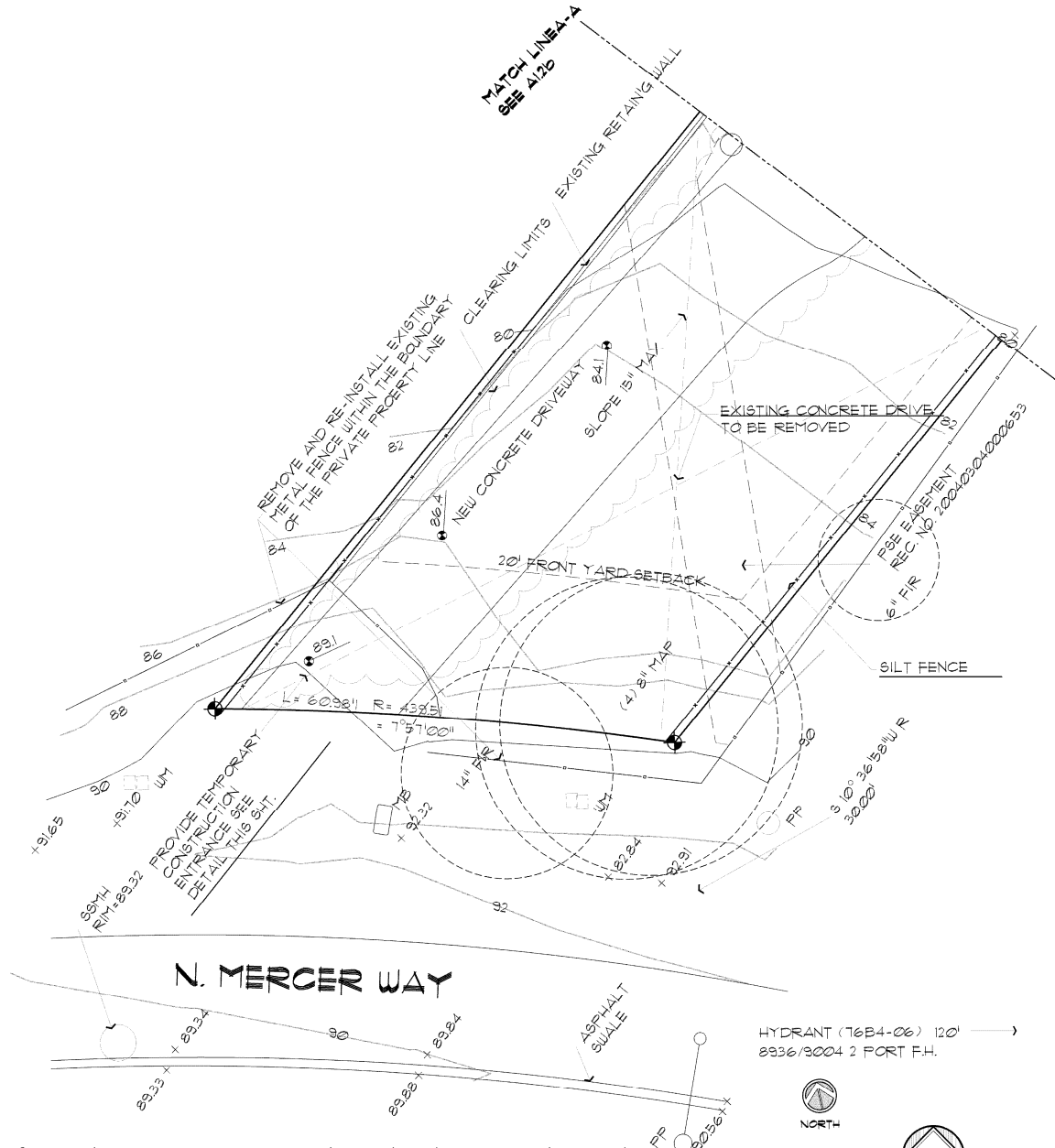
STORM DRAINAGE NOTES

- 1- SITE STORM WATER SHALL BE COLLECTED AND CONVEYED TO CATCH BASIN #3 (CB#3) WHERE IT WILL ULTIMATELY BE CONNECTED TO EXISTING PIPE AND DISCHARGED INTO LAKE
- 2- EXISTING UTILITIES ARE SURVEYED WHERE NOT SHOWN ON THIS PLAN
CONTRACTOR IS RESPONSIBLE TO DETERMINE ALL UTILITY VERTICAL AND HORIZONTAL LOCATION PRIOR TO COMMENCING WORK ALWAYS CALL BEFORE YOU DIG 1-800-424-5555
- 3- MINIMUM SLOPE FOR 4" DIA. ROOF AND FOOTING DRAIN LINES SHALL BE 2.00%
- 4- PROVIDE SAND COLLAR ON PVC PIPE AT CONNECTION TO CATCH BASINS.
- 5- ALL PVC PIPE SHALL BE SCHEDULE 40 INCLUDING PERFORATED FOOTING DRAINS.
- 6- ALL STORM DRAIN LINES UNDER RETAINING WALLS OR STRUCTURE SHALL BE DUCTILE IRON PIPE EXTENDING TO CATCH BASINS ON EACH SIDE.

TYPE 1 CATCH BASIN NOTES

- 1- CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C-478 (AASHO M-199) AND IN ACCORDANCE WITH KING COUNTY SURFACE WATER MANUAL REQUIREMENTS.
- 2- ALL REINFORCED CAST IN PLACE CONCRETE SHALL BE CLASS 4000
- 3- PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS
SHALL HAVE A WALL THICKNESS OF 2" MIN. ALL PIPES SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS, UNUSED KNOCKOUTS SHALL BE FULLY GROUTED.
- 4- THE MAX DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT SHALL NOT EXCEED 5'-0"
- 5- CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-621D. MATING SURFACES SG/HALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
- 6- EDGE OF RISER OR BRICK SHALL NOT BE MORE THAN 2'-0" FROM VERTICAL EDGE OF THE CATCH BASIN.

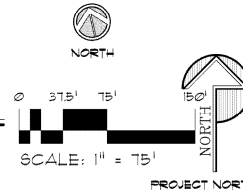
CALL (2) WORKING DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER



SITE IMPROVEMENT PLAN

Partial enlarged site plan, control & conveyance system

HYDRANT (76B4-06) 12" 2 PORT F.H.
8936/3004



SAZEI DESIGN GROUP, LLC
8808 110TH AVE. NE
KIRKLAND, WA, 98033
TEL: (425) 214-2280
FAX: (425) 886-6887

TAM RESIDENCE
8916 N. MERCER WAY MERCER ISLAND WA. 98040
Site Improvement Plan, Site Details and Land Use Data

Revision	Date
1	3-14-14
2	3-28-14
3	4-15-14

Feb. 20th 2014
DME Construction
MJS
SAZEI DESIGN GROUP, LLC

A1.2a
of: 35

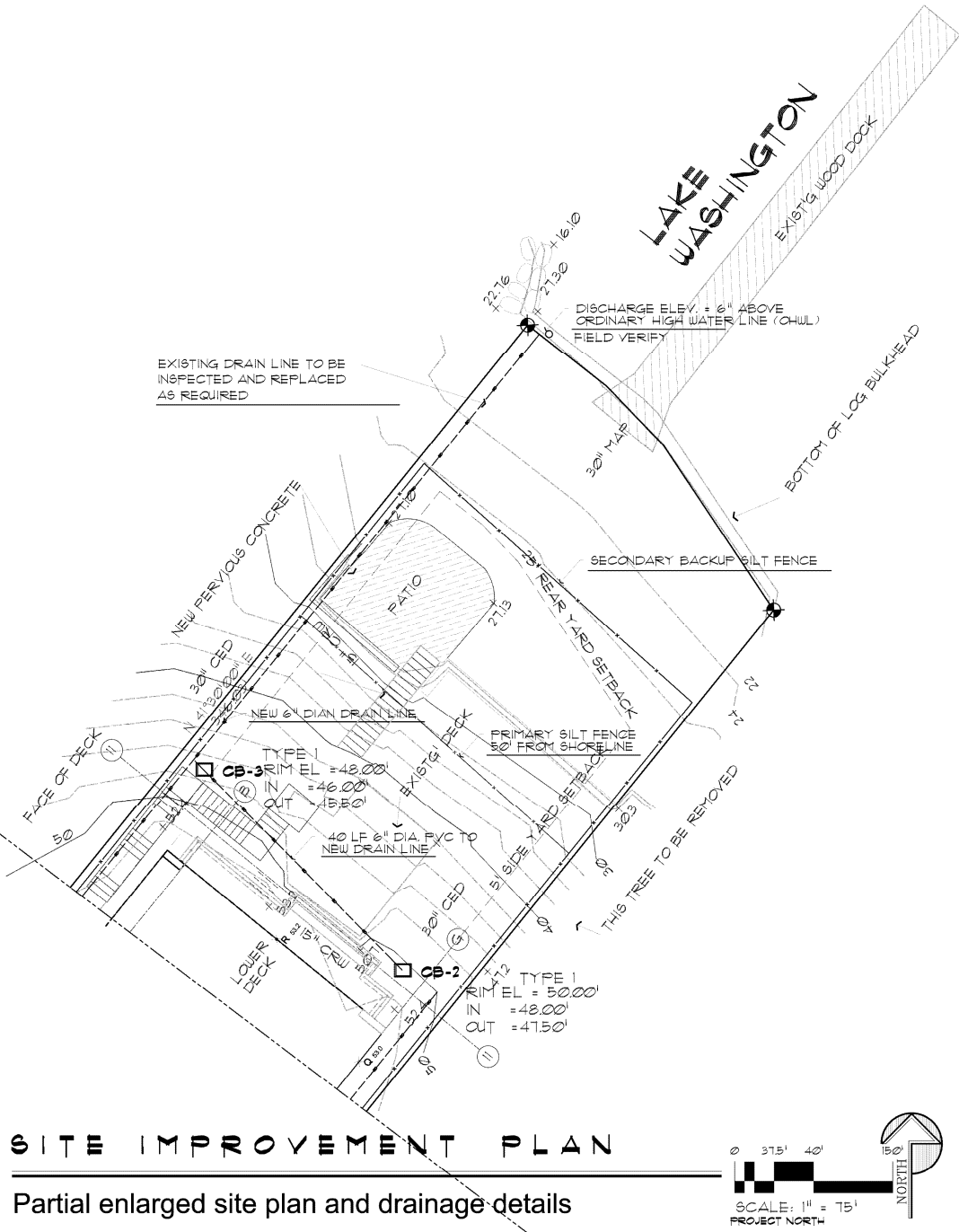
TEMPORARY EROSION AND SEDIMENTATION CONTROL REQUIREMENTS

TEMPORARY EROSION AND SEDIMENTATION CONTROL (TESC) FACILITIES TO PROTECT RIGHT OF WAY, PUBLIC STORM DRAINS, ADJACENT PROPERTIES, AND WATER COURSES (IF ANY) ARE REQUIRED FOR ANY AND ALL WORK INVOLVING EARTH DISTURBANCES. THE FOLLOWING IS A RECOMMENDED MINIMUM SET OF REQUIREMENTS FOR ALL GRADING/DRAINAGE ACTIVITIES.

TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES (TESC) INCLUDING BUT NOT LIMITED TO TEMPORARY CONSTRUCTION ENTRANCE, CATCH BASIN PROTECTION, SILT FENCE INSTALLATION, INTERCEPTOR DITCHES, SEDIMENTATION PONDS AND STRAW BALES) MUST BE IN PLACE PRIOR TO DEMOLITION.

CLEARING/GRADING/ETC. SPOIL PILES SHALL BE KEPT COVERED. ALL PUBLIC STREET/ROADS SHALL BE KEPT FREE OF MUD AND CONSTRUCTION DEBRIS. TESC FACILITIES SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS COMPLETED. NO SEDIMENT LADEN WATER SHALL ENTER PUBLIC STORM DRAIN SYSTEM, SENSITIVE AREAS, AND ADJACENT PROPERTIES. NOT ALL OF THESE FACILITIES MAY BE IDENTIFIED ON THIS PLAN BUT MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTORS WILL ADHERE TO ADDITIONAL REQUIREMENTS AS CONDITIONS WARRANT AND THE PROJECT PROGRESSES, INCLUDING CLEANING OF DOWNSTREAM CATCH BASINS AND DRAINAGE FACILITIES OF SEDIMENT FROM THIS PROJECT.

- 1- THE IMPLEMENTATION OF THESE TESC PLANS AND THE CONSTRUCTION, MAINTAINANCE, REPLACEMENT AND AND UPGRADING OF THESE TESC FACILITIES IS THE RESPONSIBILITY OF THE OWNER AND/OR THEIR CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- 2- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE PRIOR TO CONSTRUCTION. ALL DISTURBED AREAS SHALL BE MAINTAINED BY THE OWNER AGENT AND/OR THEIR CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- 3- THE TESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. THESE TESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS. SEEDING, MULCHING, PLASTIC COVERING, ETC.
- 4- DURING THE WET SEASON, ANY AREAS OF EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH APPROVED TESC METHODS SUCH AS SEEDING, MULCHING, PLASTIC COVERING, ETC.
- 5- THE TESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED REGULARLY BY THE OWNER AGENT AND/OR THEIR AFFILIATED CONTRACTOR.
- 6- STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED (WHERE REQUIRED) AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS AND SEDIMENT TRAPS MAY BE REQUIRED TO ENSURE PAVED AREAS AND PUBLIC ROADS ARE KEPT CLEAN DURING THE CONSTRUCTION PERIOD.
- 7- ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY TEMPORARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY.
- 8- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 OR 3 INCHES.
- 9- EXISTING UTILITIES WERE NOT SURVEYED AND THEREFORE NOT SHOWN ON THIS PLAN. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION ALWAYS CALL BEFORE YOU DIG: 1-800-424-5555



SITE IMPROVEMENT PLAN

Partial enlarged site plan and drainage details

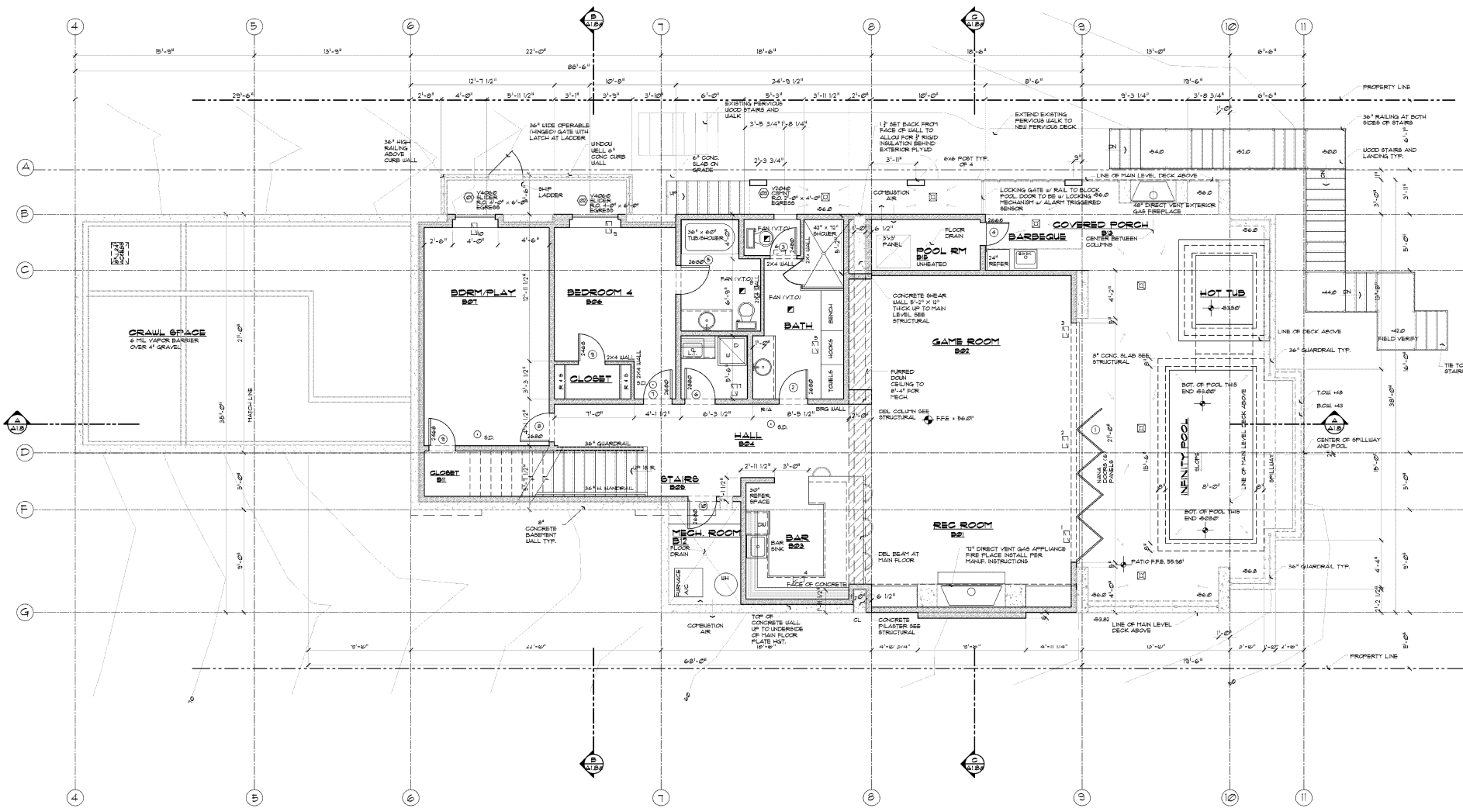
SAZEI DESIGN GROUP, LLC
 8808 110TH AVE. NE
 KIRKLAND, WA, 98033
 TEL: (425) 214-2280
 FAX: (425) 886-6987

TAM RESIDENCE
 8916 N. MERCER WAY MERCER ISLAND WA. 98040
 Site Improvement Plan, Site Details and Land Use Data

Revision	Date
1	3-16-14
2	3-28-14
3	4-15-14

Feb. 20th 2014
 DME Construction
 MJS
 SAZEI DESIGN GROUP, LLC

A1.2c
 of 35



- SYMBOLS:**
- WINDOW DESIGNATION
 - ◯ DOOR DESIGNATION
 - ▣ MECHANICAL REGISTER - 10 HEIGHT AT CEILING
 - ▣ EXTERIOR FLOOR DRAIN
 - WATER FLOW PATH

PLATE & HEADER HEIGHTS
 (UNLESS NOTED OTHERWISE)

- STANDARD PLATE HEIGHT - 3'-2" ABOVE SUBFLOOR
- STANDARD HEADER HEIGHT - 8'-2" ABOVE SUBFLOOR
- STANDARD HEADER 4x10



BASEMENT LEVEL FLOOR PLAN

ALL WALLS TO BE 2x8 STUDS @ 16" OC UNG.
SQUARE FOOTAGE SUMMARY FOR BASEMENT

BASEMENT HEATED	1769.90 FT
EXISTING FOTHER-N-LAW (HEATED)	1772.80 FT
UNHEATED-POOL ROOM, MECHANICAL, AT BASEMENT	138.90 FT
COVERED WALKWAY, POOL AREA w/ SPILLWAY	786.90 FT

1/4" = 1'-0"

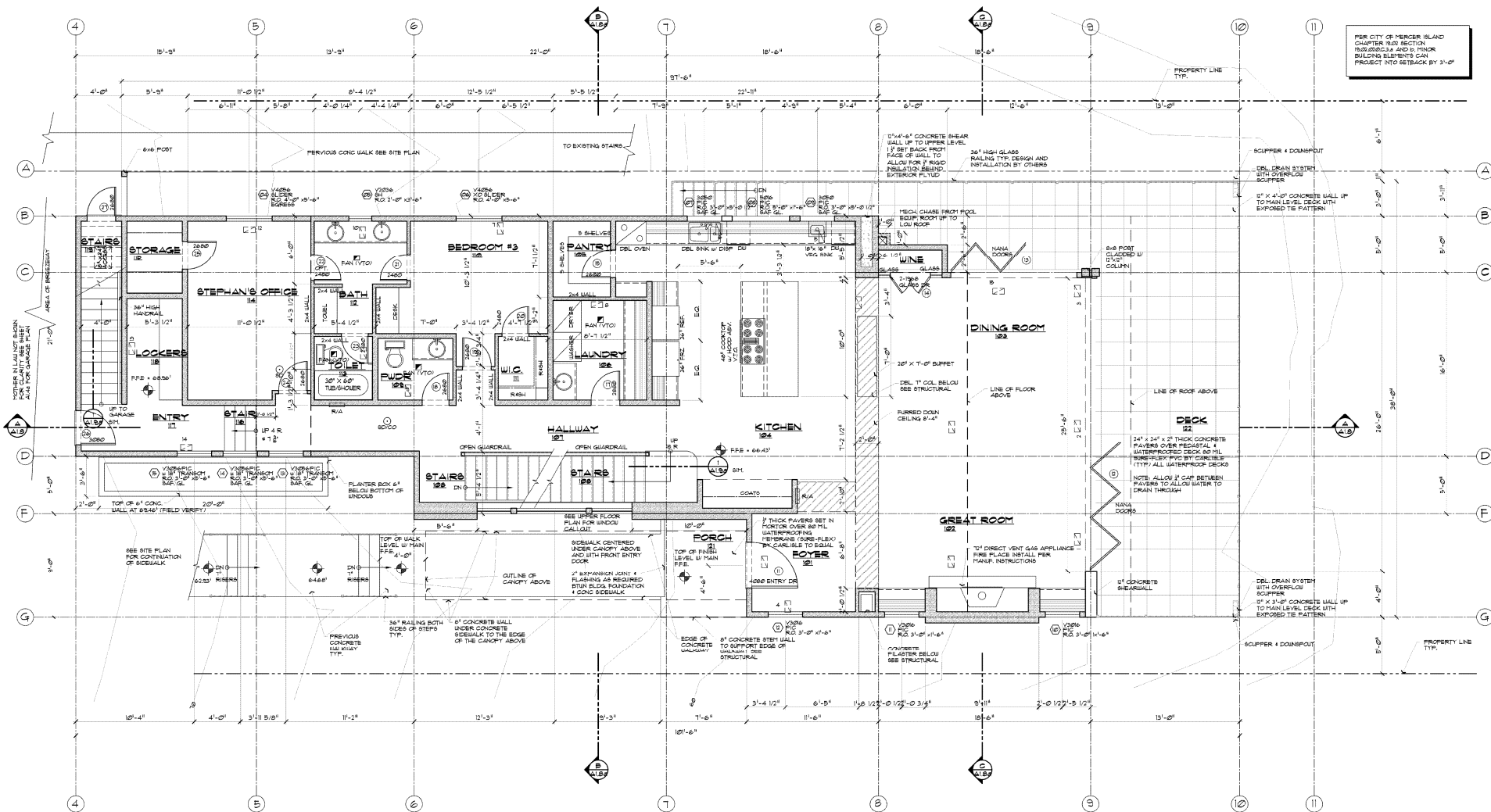
SAZEI DESIGN GROUP, LLC
 8808 110TH AVE. NE
 KIRKLAND, WA 98033
 TEL: (425) 214-2280
 FAX: (425) 885-8887

TAM RESIDENCE
 8916 N. MERCER WAY MERCER ISLAND WA. 98040
 Basement Floor Plan

Revision	Date
1	3-14-14
2	3-26-14
3	4-15-14

Feb. 20th 2014
 DME Construction
 MUS
 SAZEI DESIGN GROUP, LLC

Sheet
A1.3
 35



PER CITY OF MERCER ISLAND
CHAPTER 16.02 SECTION
16.02.02.3 AND 16.02.02.4
MINOR BUILDING ELEMENTS CAN
PROJECT INTO SETBACK BY 3'-0"

SYMBOLS:
○ WINDOW DESIGNATION
□ DOOR DESIGNATION
□ MECHANICAL REGISTER-
@ REG'D AT CEILING

PLATE & HEADER HEIGHTS
(UNLESS NOTED OTHERWISE)
STANDARD PLATE HEIGHT: 3'-6" ABOVE SUBFLOOR
STANDARD HEADER HEIGHT: 8'-2" ABOVE SUBFLOOR
STANDARD HEADER 4'-0"



MAIN LEVEL FLOOR PLAN

ALL WALLS TO BE 2x6 STUDS @ 16" O.C. UNCL.
ALL HEADERS TO BE 4x8 OR 6" (MIN) UNCL. (SEE STRUCTURAL)

1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY

BASMENT HEATED	1766 SQ FT
MAIN FLOOR HEATED	2394 SQ FT
UPPER FLOOR HEATED	1577 SQ FT
NORTHERN LAUN HEATED (EXISTING)	177 SQ FT
WALL STORAGE/GARAGE	28 SQ FT
UNHEATED POOL ROOM	171 SQ FT
DECK AT MAIN FLOOR	783 SQ FT
COV. PORCH AT UPPER FLOOR	916 SQ FT
DECK AT UPPER FLOOR	363 SQ FT

SQ. FTG IS CALCULATED PER ANSI
Z165-2003 STANDARD

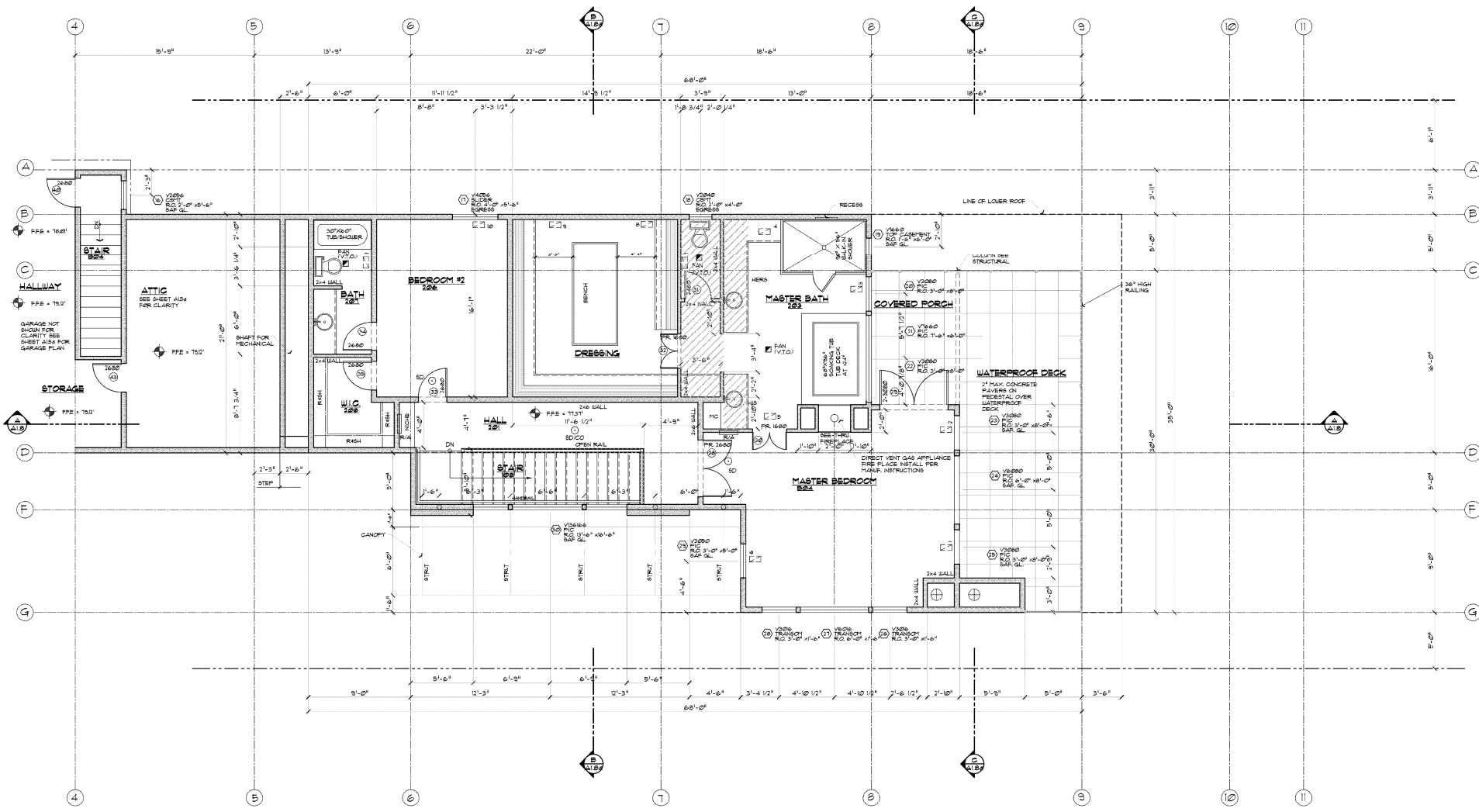
SAZEI DESIGN GROUP, LLC
8908 110TH AVE N.E.
KIRKLAND, WA 98033
TEL: (425) 214-2280
FAX: (425) 885-6887

TAM RESIDENCE
8916 N. MERCER WAY MERCER ISLAND WA. 98040
Main Level Floor Plan

Revision	Date
1	3-14-14
2	3-26-14
3	4-15-14

Feb. 20th 2014
DME Construction
MUS
SAZEI DESIGN
GROUP, LLC

Sheet
A1.4
35



- SYMBOLS:**
- WINDOW DESIGNATION
 - ◯ DOOR DESIGNATION
 - ▣ MECHANICAL REGISTER - 8" REG. & CEILING

PLATE & HEADER HEIGHTS
 (UNLESS NOTED OTHERWISE)
 STANDARD PLATE HEIGHT: 9'-6" ABOVE SUBFLOOR
 STANDARD HEADER HEIGHT: 8'-2" ABOVE SUBFLOOR
 STANDARD HEADER: 4x10



UPPER LEVEL FLOOR PLAN

ALL WALLS TO BE 2x6 STUDS @ 16" OC UNO.

1/4" = 1'-0"



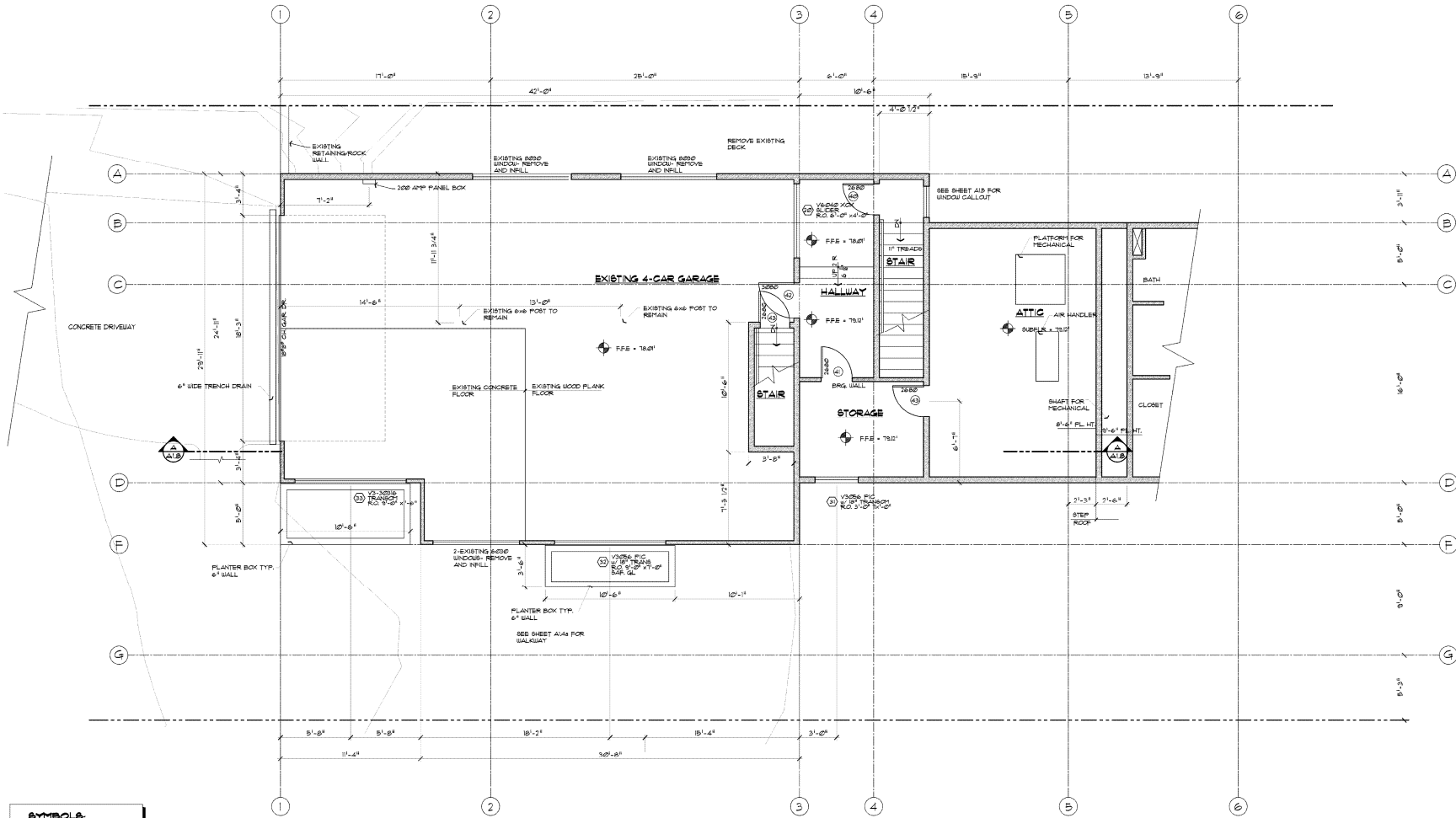
SAZEI DESIGN GROUP, LLC
 8808 110TH AVE. N.E.
 KIRKLAND, WA. 98033
 TEL: (425) 214-2280
 FAX: (425) 885-6887

TAM RESIDENCE
 8916 N. MERCER WAY MERCER ISLAND WA. 98040
 Upper Level Floor Plan

Revision	Date
1	3-14-14
2	3-26-14
3	4-15-14

Feb. 20th 2014
 DME Construction
 MUS
 SAZEI DESIGN GROUP, LLC

Sheet
A1.5
 35



SYMBOLS:
 ○ WINDOW DESIGNATION
 ◯ DOOR DESIGNATION

PLATE & HEADER HEIGHTS
 *UNLESS NOTED OTHERWISE
 STANDARD PLATE HEIGHT: 3'-6" ABOVE SUBFLOOR
 STANDARD HEADER HEIGHT: 8'-2" ABOVE SUBFLOOR
 STANDARD HEADER: 4x10



UPPER LEVEL FLOOR PLAN & GARAGE

ALL WALLS TO BE 2x6 STUDS @ 16" OC UNG.

1/4" = 1'-0"

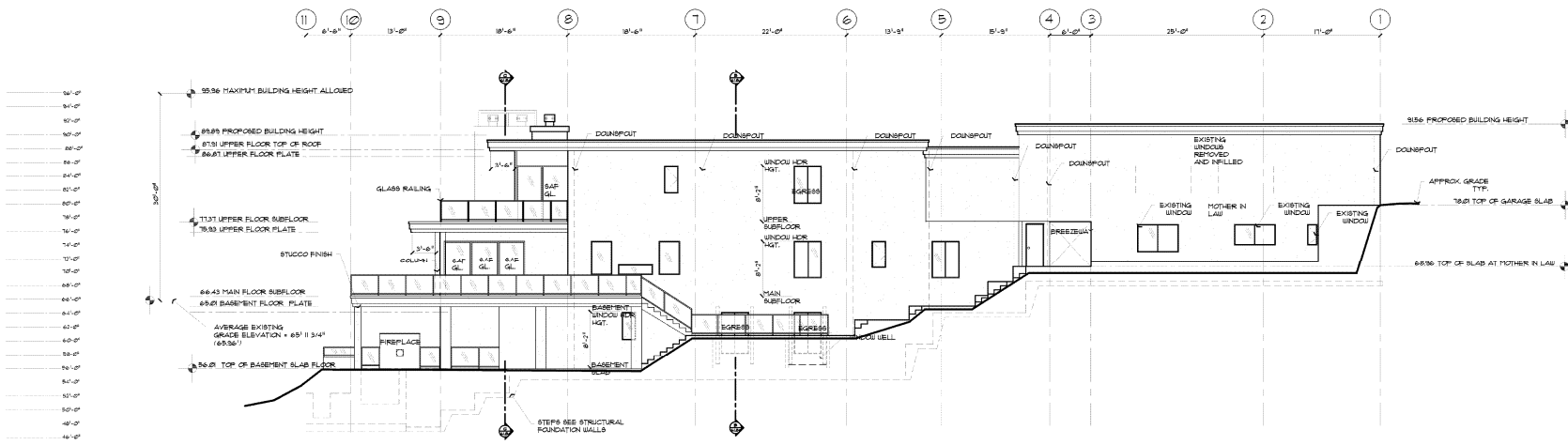
SAZEI DESIGN GROUP, LLC
 8808 110TH AVE. N.E.
 KIRKLAND, WA. 98033
 TEL: (425) 214-2280
 FAX: (425) 886-6887

TAM RESIDENCE
 8916 N. MERCER WAY MERCER ISLAND WA. 98040
 Upper Level Floor Plan

Revision	Date
1	3-14-14
2	3-26-14
3	4-15-14

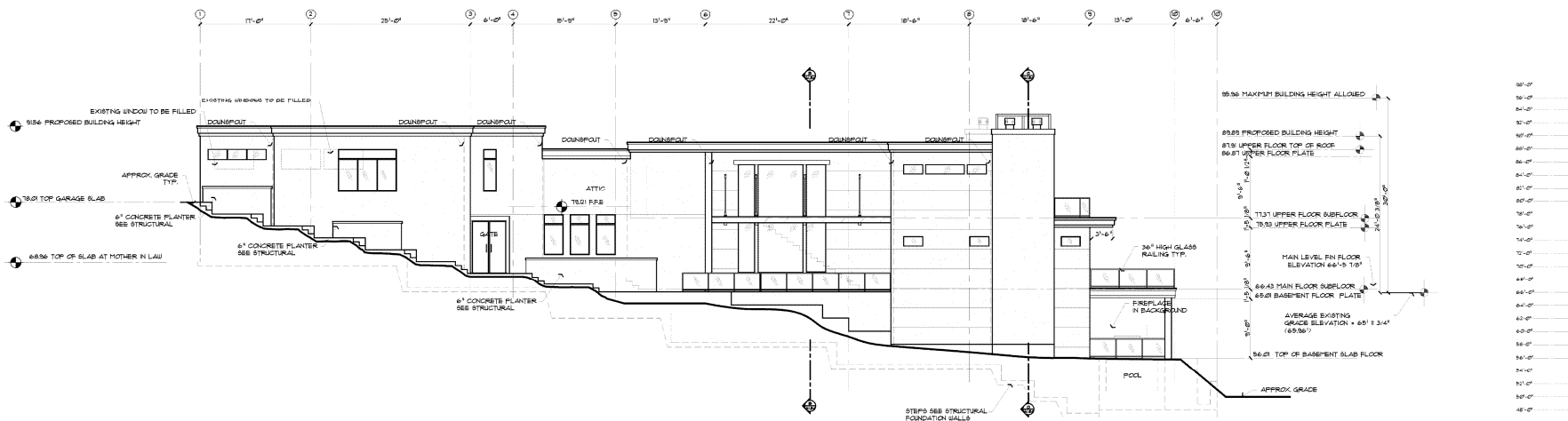
Feb. 20th 2014
 DME Construction
 MJS
 SAZEI DESIGN GROUP, LLC

A1.5a
 of 35



NORTH ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

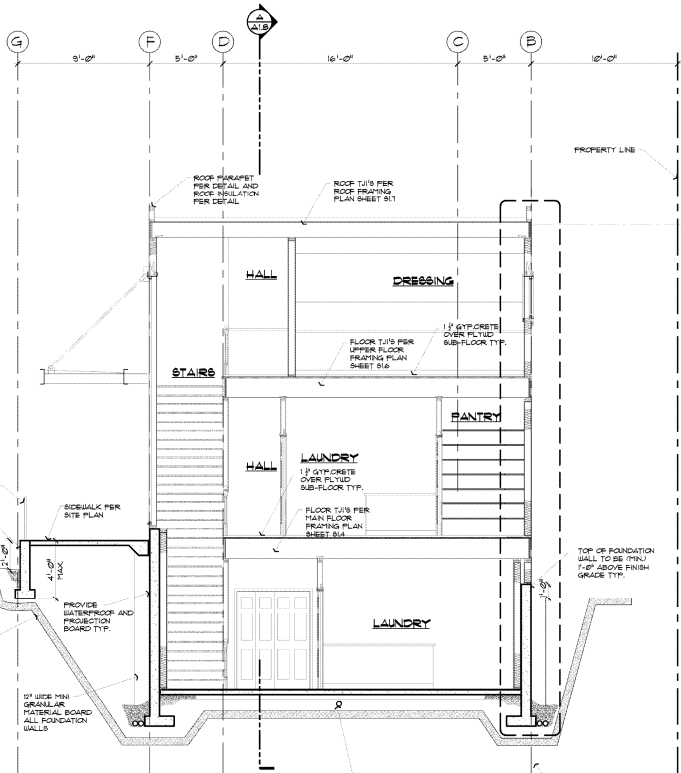
SAZEI DESIGN GROUP, LLC
 8808 110TH AVE. NE
 KIRKLAND, WA, 98033
 TEL: (425) 214-2280
 FAX: (425) 886-6987

TAM RESIDENCE
 8916 N. MERCER WAY MERCER ISLAND WA. 98040
 North and South Elevations

Revision	Date
1	3-14-14
2	3-28-14
3	4-15-14

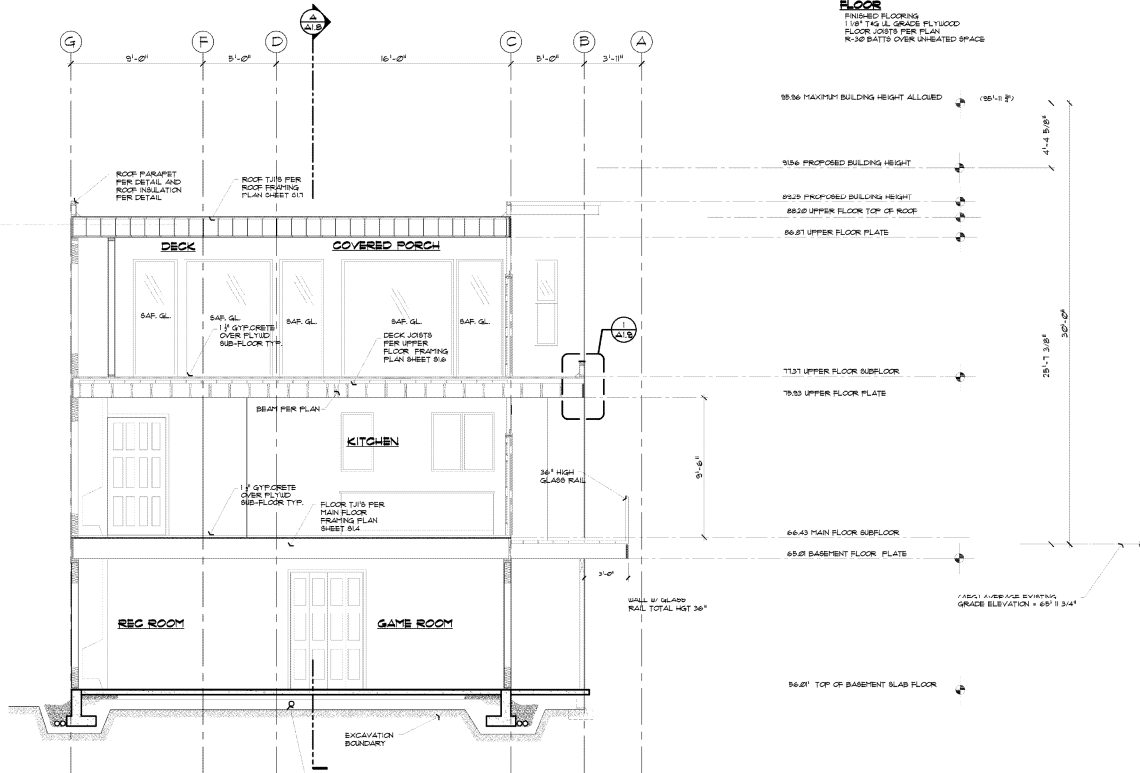
Feb. 20th 2014
 DME Construction
 MUS
 SAZEI DESIGN GROUP, LLC

A1.7
 of: 35



SECTION 'B'

1/8" = 1'-0"



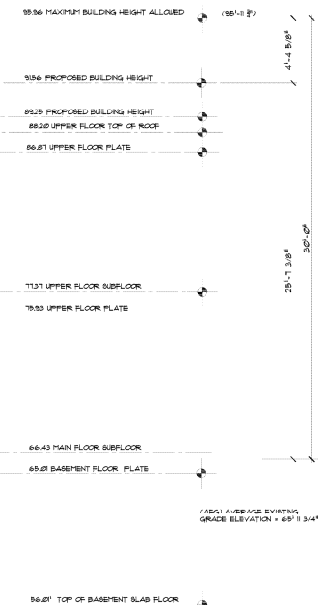
SECTION 'C'

1/8" = 1'-0"

ROOF
 ROOFING PER ELEVATION
 MEMBRANE 2-LAYER BURR FLOOR
 2" X 2" ROOF MEMBRANE BY CARLISLE
 TYP. SEE SHEET A1.8 FOR ADDITIONAL NOTES
 1/4" U.L. GYPSUM PLT. INS.
 ROOF TRUSSES PER STRUCTURAL 0-SHEETS
 INSULATION PER PLAN
 1" GIBD CEILING FINISH

WALLS
 2" STUCCO PER ELEVATION
 5/8" APPLICATED SHEATHING
 2x6 STUDS @ 16" OC. (TYP.)
 R-7 FIBERGLASS BATT INSULATION
 1" GIBD EXTERIOR FINISH

FLOOR
 FINISH-FLOORING
 1 1/8" THICK U.L. GYPSUM PLT. STUCCO
 FLOOR JOISTS PER PLAN
 R-10 BATT INS OVER UNHEATED SPACE



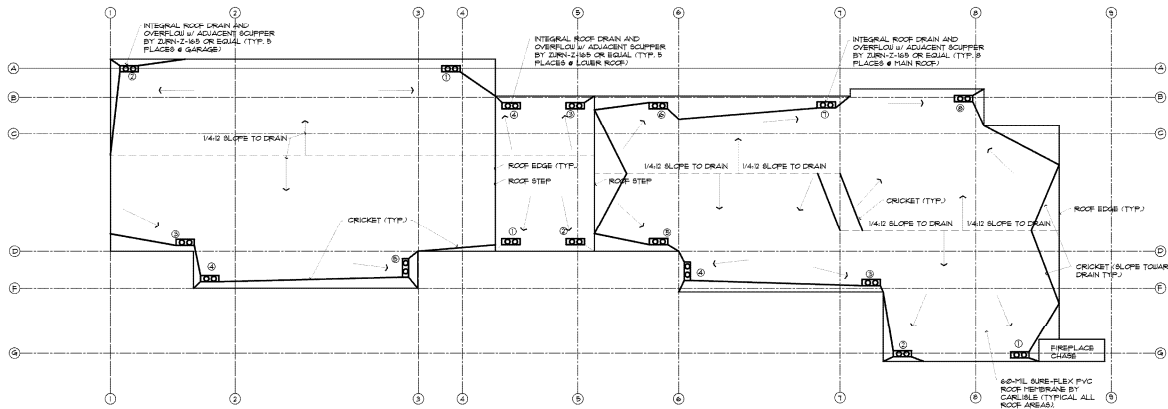
SAZEI DESIGN GROUP, LLC
 6808 110TH AVE N.E.
 KIRKLAND, WA, 98033
 TEL: (425) 886-2280
 FAX: (425) 886-6987

TAM RESIDENCE
 8916 N. MERCER WAY MERCER ISLAND WA. 98040
 Building Sections 'B' and 'C'

Revision	Date
1	3-14-14
2	3-26-14
3	4-15-14

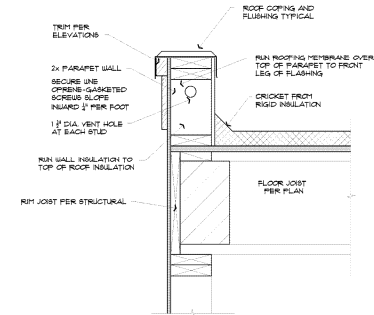
Feb. 20th 2014
 DME Construction
 MUS
 SAZEI DESIGN GROUP, LLC

A1.8a
 of 35



ROOF DRAINAGE PLAN

1/8" = 1'-0"

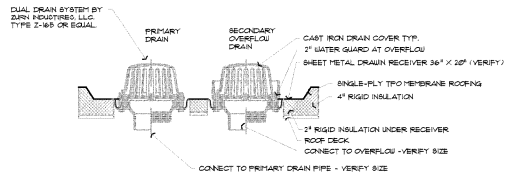


ARCH. PARAPET DETAIL
FLOOR JOISTS PERPENDICULAR TO WALL 1/2" = 1'-0"

NOTES:

1. THE INFORMATION SHOWN ON THIS DRAWING SHALL BE VERIFIED AND COORDINATED WITH STRUCTURAL, MECHANICAL, PLUMBING, CIVIL, AND OTHER RELATED TRADES TO ENSURE ALL BUILDING COMPONENTS ARE CONSTRUCTED PER THIS DRAWING AND PER MANUFACTURER'S RECOMMENDATIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO THE START OF CONSTRUCTION.
2. PROVIDE CRICKETS AND ADDITIONAL SLOPES AS NEEDED FOR THE POSITIVE ROOF DRAINAGE WITH NO POONDING OR WATER COLLECTION.
3. PROVIDE ADDITIONAL CAULKING, FLASHING, AND OTHER SEALING AS REQUIRED TO FORM A BUILDING ENVELOPE BARRIER SUITABLE AND TOTALLY ADEQUATE TO RESIST WEATHER, WATER, AND MOISTURE.
4. PROVIDE ZURN INDUSTRIES, INC. OR EQUAL ROOF DRAIN, SECONDARY ROOF DRAIN, AND OVERFLOW SCUPPER TO ACCOMMODATE 100 YEAR/24 HOUR PEAK STORM PER REQUIREMENTS OF 2005 KING COUNTY SURFACE WATER MANUAL. ACTUAL SIZE OF ROOF DRAINAGE APPEARANCES, FITTINGS, AND PIPING TO BE DETERMINED BY A MECHANICAL ENGINEER WITH RELEVANT EXPERIENCE.
5. ROOF MEMBRANE SHALL BE BY CARLISLE ROOFING SYSTEMS, INC. OR EQUAL. MEMBRANE SHALL BE SURE-FLEX REINFORCED PVC WITH 60-MIL THICKNESS. INSTALLATION AND PREPARATION OF SUB-SURFACE SHALL BE PER MANUFACTURER. INSTALLER SHALL BE EXPERIENCED WITH INSTALLATION OF THIS TYPE MATERIAL AND IS STILL ALSO CERTIFIED BY THE PRODUCT MANUFACTURER.
6. A. A SAMPLE MOCK-UP OF THE ROOF MEMBRANE SHALL BE PREPARED FOR REVIEW AND APPROVAL BY GENERAL CONTRACTOR AND PRODUCT DESIGNER PRIOR TO THE MEMBRANE INSTALLATION. A COMPLETE INSTALLATION METHOD AND PROCEDURE(S) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
7. ROOF CONSTRUCTION SHALL CONSIST OF:
 - A. ROOF MEMBRANE 60-MIL THICK SURE-FLEX PVC BY CARLISLE. ROLLS SHALL BE LARGES AS POSSIBLE TO MINIMIZE LAP JOINTS.
 - B. 2" RIGID (1/2" R-7) RIGID INSULATION TAPERED TO FORM REQUIRED SLOPE FOR DRAIN AND OVERFLOW SCUPPER. FOAM COMPRESSIVE STRENGTH SHALL BE 20 PSI MINIMUM.
 - C. 1/2" CDX PLYWOOD/PANEL SHEATHING W/ FACE GRAIN PERPENDICULAR TO DRAINING BELOW, AND W/ END JOINTS OFFSET 48".
 - D. ROOF FRAMING AS OUTLINED PER FRAMING PLAN.
 - E. BREAK FROM INSULATION APPLIED DIRECTLY TO UNDERSIDE OF ROOF SHEATHING AND FRAMING MEMBERS R-4811 INSULATION RATINGS.
 - F. OTHER WALL BOWED CEILING INSTALLED PER IRC TABLE 2506 AND 2508.

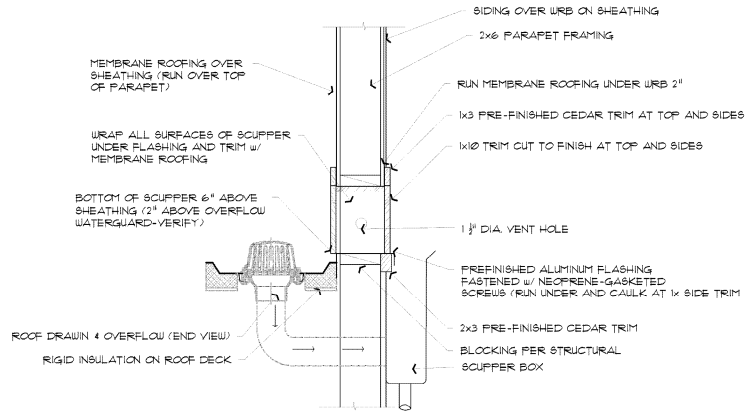
PRIMARY ROOF DRAIN AND INTEGRAL SECONDARY OVERFLOW WITH 2" WATERGUARD. VERIFY SIZE AND TYPE, OVERFLOW TO CONNECT TO WALL SPOUT (SEE ELEVATION). PROVIDE ADJACENT SCUPPER (SEE BELOW).



ROOF DRAIN & OVERFLOW

NT9

VERIFY ACTUAL INSTALLATION WITH MANUFACTURER'S SPECIFICATIONS. VERIFY DRAIN AND PIPE SIZES WITH A SUITABLY-QUALIFIED ENGINEER.



SCUPPER DETAIL

COORDINATE INSTALLATION WITH ROOF DRAIN DETAIL 1/2" = 1'-0"

SAZEI DESIGN GROUP, LLC

SAZEI DESIGN GROUP, LLC

SAZEI DESIGN GROUP, LLC
8808 110TH AVE. N.E.
KIRKLAND, WA. 98033
TEL: (425) 214-2280
FAX: (425) 886-8887

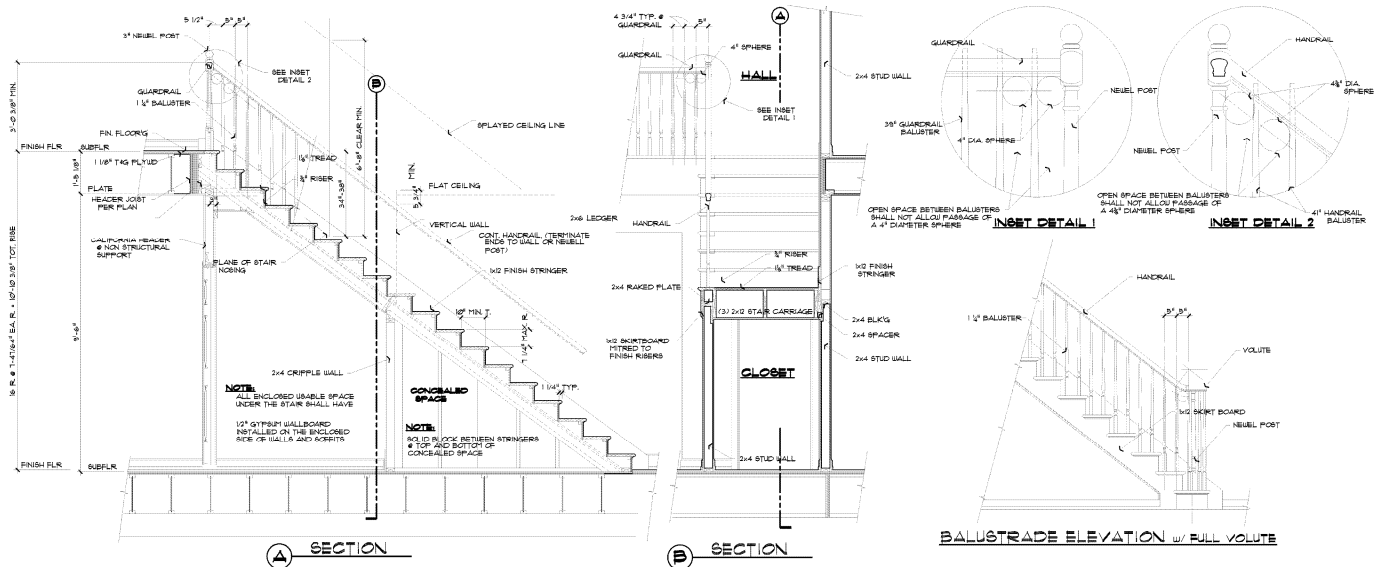
TAM RESIDENCE
8916 N. MERCER WAY MERCER ISLAND WA. 98040
ROOF DRAINAGE AND DETAILS

Revision	Date
1	3-14-14
2	3-26-14
3	4-15-14

Feb. 20th 2014
DME Construction
MUS

SAZEI DESIGN GROUP, LLC

Sheet
A1.9
of: 35



1 TYP STAIR DETAIL STRAIGHT RUN STAIR (3'-6" PLATE, 16" JOIST)
 1 1/2" TREADS w/ 2 BALUSTERS PER TREAD - 10'-3 1/2" TOTAL RISE
 1 1/2" = 1'-0"



SAZEI DESIGN GROUP, LLC
 8808 110TH AVE. N.E.
 KIRKLAND, WA, 98033
 TEL: (425) 214-2280
 FAX: (425) 885-8887

TAM RESIDENCE
 8916 N. MERCER WAY MERCER ISLAND WA. 98040
 STAIR DETAIL

Revision	Date
1	3-16-14
2	3-28-14
3	4-15-14

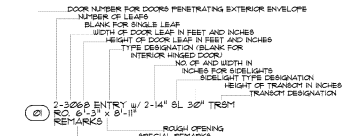
Feb. 20th 2014
 DME Construction
 MUS
 SAZEI DESIGN GROUP, LLC

Sheet
A1.9a
 of: 35

DOOR LEGEND

JAN 2011 EDITION

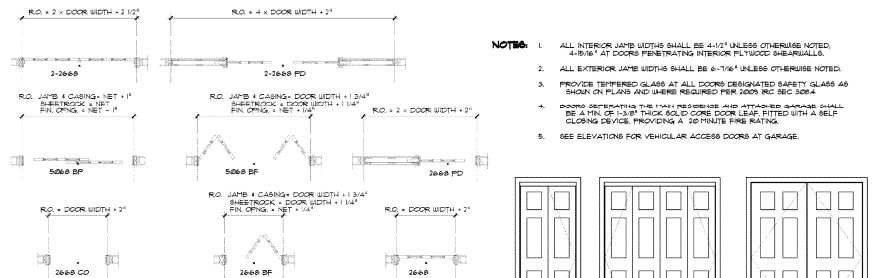
DOOR REFERENCE CONVENTIONS



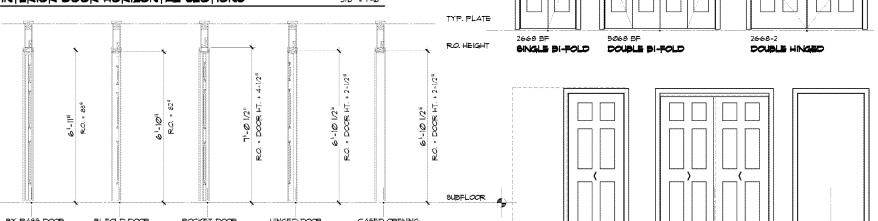
TYPE ABBREVIATION SCHEDULE

Abbreviation	Description	Remarks
Blank	Interior Hinged Door	
Enry	Exterior Hinged Entry Door	
Ston	Glazed Store Door	Glazing has no muntins.
Frnch	Glazed French Door	Glazing has no muntins. See plans for no. of lights
HtL Lb	Glazed Upper Panel	
BF	Bi-Fold Door	2 leafs Doors over 3'-0" 4 leafs
BP	By Pass Door	2 Leafs
CO	Casert Opening	
FD	Folding Doors	
PD	Pocket Door	
OS	Overhead Sectional Garage Door	
SL	Sash Set Sidelight	
DL	Direct Set Sidelight	

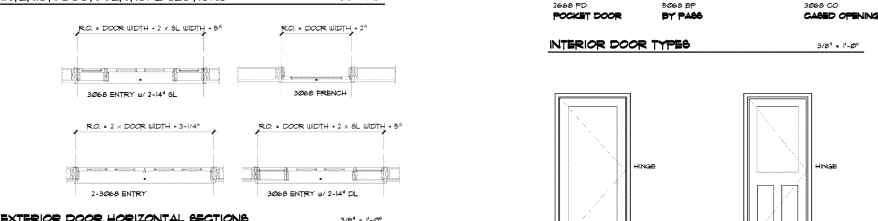
- NOTES:**
- ALL INTERIOR JAMB WIDTHS SHALL BE 4-1/2" UNLESS OTHERWISE NOTED. 4-3/8" AT DOORS PENETRATING INTERIOR FINISHED ENVIRONMENT.
 - ALL EXTERIOR JAMB WIDTHS SHALL BE 6-1/4" UNLESS OTHERWISE NOTED.
 - PROVIDE TIPPED GLASS AT ALL DOORS DESIGNATED SAFETY GLASS AS SHOWN ON PLANS AND WHERE REQUIRED PER 2009 IBC SEC 308A.
 - POCKET DOORS SHALL BE 1/4" RECESSED AND ATTACHED TO THE SUBFLOOR BE A MIN. OF 1-3/8" THICK SOLID CORE DOOR LEAF FITTED WITH A SELF-CLOSING DEVICE PROVIDING A 30 MINUTE FIRE RATING.
 - SEE ELEVATIONS FOR VEHICULAR ACCESS DOORS AT GARAGE.



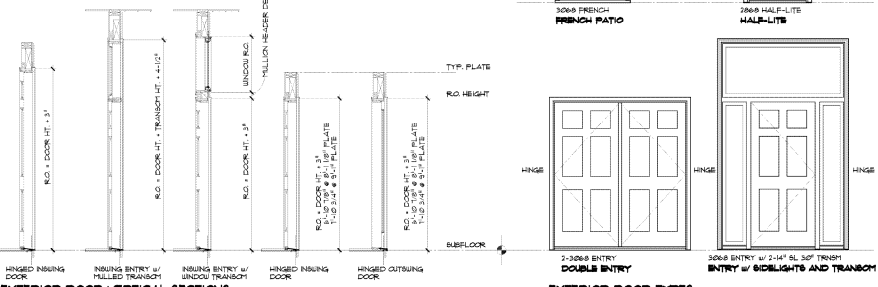
INTERIOR DOOR HORIZONTAL SECTIONS



INTERIOR DOOR VERTICAL SECTIONS



EXTERIOR DOOR HORIZONTAL SECTIONS



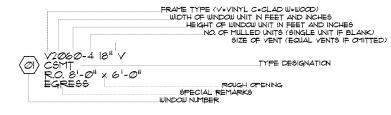
EXTERIOR DOOR VERTICAL SECTIONS



WINDOW LEGEND

JAN 2011 EDITION

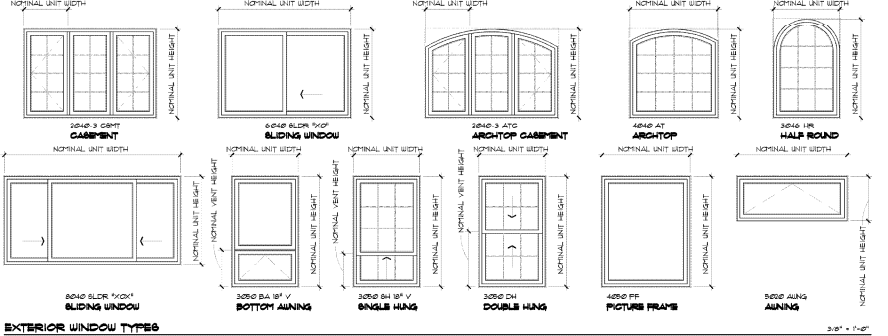
WINDOW REFERENCE CONVENTIONS



TYPE ABBREVIATION SCHEDULE

Abbreviation	Description	Remarks
CSMT	Casement	
AWNG	Awning	
SLDR	Sliding Window	"XO" indicates double slider "XOX" indicates triple slider
BA	Bottom Awning	18" V indicates height of bottom vent (blank if equal vents)
BS	Bottom Slider	18" V indicates height of bottom vent (blank if equal vents)
SH	Single Hung	18" V indicates height of bottom vent (blank if equal vents)
DH	Double Hung	18" V indicates height of bottom vent (blank if equal vents)
PF	Picture Frame (Fixed)	SS indicates sash wall OS indicates direct set
ATC	Archtop casement	
AT	Archtop	
HS	Half Round	
GB	Glass Block	
TRSM	Transom Window	Window placed above another opening
SGD	Sliding Glass Door	Sliding glass doors treated as windows for energy calculations
PD	Patio Door	Patio doors treated as windows for energy calculations

- NOTES:**
- PROVIDE TIPPED GLASS AT ALL WINDOWS DESIGNATED SAFETY GLASS AS SHOWN ON PLANS AND WHERE REQUIRED PER 2009 IBC SEC 308A.
 - WINDOWS LABELED EGRESS SHALL PROVIDE A MINIMUM NET CLEAR HEIGHT OF 24" AND A MINIMUM NET CLEAR WIDTH OF 20". EGRESS WINDOWS ABOVE THE GRADE FLOOR SHALL PROVIDE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQ.FT. THE MINIMUM OPENING AREA FOR WINDOWS LOCATED ON THE GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQ.FT. THE SILL HEIGHT SHALL BE NOT MORE THAN 44" ABOVE THE FINISHED FLOOR.
 - THE LOWEST PART OF AN OPERABLE WINDOW WHERE THE OPENING IS LOCATED MORE THAN 17' ABOVE THE EXTERIOR GRADE OR AN EXTERIOR SURFACE ELEVATION SHALL BE NO MORE THAN 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE WINDOWS THAT ARE LESS THAN 17' SHALL HAVE THEIR OPERATION LIMITED SO THAT A 4-INCH DIAMETER SPHERE CANNOT PASS THROUGH THE OPENING.



BASEMENT LEVEL WINDOW SCHEDULE

Window Number	Room Location	Manufacturer	Model	Model No.	Window Type	Frame Material	Glazing Description	Rating Agency	Rough Opening	Rough Opening Area	U-Factor
01	Bedroom/Play	Weathervane Windows	Vantage Series I	V4000	SLDR	Vinyl	2gl LoE Air	NFRC	4'-0" x 6'-0"	24.0	0.30
02	Bedroom 4	Weathervane Windows	Vantage Series I	V4000	SLDR	Vinyl	2gl LoE Air	NFRC	4'-0" x 6'-0"	24.0	0.30
03	Bedroom	Weathervane Windows	Vantage Series I	V2000	CSMT	Vinyl	2gl LoE Air	NFRC	2'-0" x 4'-0"	8.0	0.30

MAIN LEVEL WINDOW SCHEDULE

Window Number	Room Location	Manufacturer	Model	Model No.	Window Type	Frame Material	Glazing Description	Rating Agency	Rough Opening	Rough Opening Area	U-Factor
4	Stephan's Office	Weathervane Windows	Vantage Series I	V4008	SLDR	Vinyl	2gl LoE Air	NFRC	4'-0" x 6'-0"	22.0	0.30
5	Bathroom	Weathervane Windows	Vantage Series I	V2008	CSMT	Vinyl	2gl LoE Air	NFRC	2'-0" x 4'-0"	7.0	0.30
6	Bedroom 3	Weathervane Windows	Vantage Series I	V4006	SLDR "XO"	Vinyl	2gl LoE Air	NFRC	4'-0" x 6'-0"	22.0	0.30
7	Kitchen	Weathervane Windows	Vantage Series I	V3050	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 5'-0 1/2"	15.0	0.30
8	Kitchen	Weathervane Windows	Vantage Series I	V5816	PKC	Vinyl	2gl LoE Air	NFRC	5'-0" x 11'-0"	7.5	0.30
9	Kitchen	Weathervane Windows	Vantage Series I	V3050	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 5'-0 1/2"	15.0	0.30
10	Great Room	Weathervane Windows	Vantage Series I	V3016	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 11'-0"	4.5	0.30
11	Great Room	Weathervane Windows	Vantage Series I	V3016	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 11'-0"	4.5	0.30
12	Foyer	Weathervane Windows	Vantage Series I	V3016	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 11'-0"	4.5	0.30
13	Entry	Weathervane Windows	Vantage Series I	V3058 w/18" TRANS	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 5'-0"	16.5	0.30
14	Entry	Weathervane Windows	Vantage Series I	V3058 w/18" TRANS	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 5'-0"	16.5	0.30
15	Entry	Weathervane Windows	Vantage Series I	V3058 w/18" TRANS	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 5'-0"	16.5	0.30

UPPER LEVEL WINDOW SCHEDULE

Window Number	Room Location	Manufacturer	Model	Model No.	Window Type	Frame Material	Glazing Description	Rating Agency	Rough Opening	Rough Opening Area	U-Factor
16	Stairs	Weathervane Windows	Vantage Series I	V2056	CSMT	Vinyl	2gl LoE Air	NFRC	2'-0" x 4'-0"	11.0	0.30
17	Bedroom 2	Weathervane Windows	Vantage Series I	V4006	SLDR "XO"	Vinyl	2gl LoE Air	NFRC	4'-0" x 6'-0"	22.0	0.30
18	Bedroom 2	Weathervane Windows	Vantage Series I	V2040	CSMT	Vinyl	2gl LoE Air	NFRC	2'-0" x 4'-0"	8.0	0.30
19	Master Bath	Weathervane Windows	Vantage Series I	V1860	TOP CSMT	Vinyl	2gl LoE Air	NFRC	1'-8" x 6'-0"	7.5	0.30
20	Garage	Weathervane Windows	Vantage Series I	V8040	SLDR "XO"	Vinyl	2gl LoE Air	NFRC	6'-0" x 4'-0"	24.0	0.30
21	Master Bath	Weathervane Windows	Vantage Series I	V1860	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 6'-0"	45.0	0.30
22	Master Bedroom	Weathervane Windows	Vantage Series I	V3000	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 6'-0"	24.0	0.30
23	Master Bedroom	Weathervane Windows	Vantage Series I	V3000	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 6'-0"	24.0	0.30
24	Master Bedroom	Weathervane Windows	Vantage Series I	V8280	PKC	Vinyl	2gl LoE Air	NFRC	6'-0" x 8'-0"	48.0	0.30
25	Master Bedroom	Weathervane Windows	Vantage Series I	V3000	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 6'-0"	24.0	0.30
26	Master Bedroom	Weathervane Windows	Vantage Series I	V3016	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 11'-0"	4.5	0.30
27	Master Bedroom	Weathervane Windows	Vantage Series I	V8016	PKC	Vinyl	2gl LoE Air	NFRC	6'-0" x 11'-0"	4.0	0.30
28	Master Bedroom	Weathervane Windows	Vantage Series I	V3016	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 11'-0"	4.5	0.30
29	Master Bedroom	Weathervane Windows	Vantage Series I	V3050	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 5'-0"	15.0	0.30
30	Stairs	Weathervane Windows	Vantage Series I	V138166	PKC	Vinyl	2gl LoE Air	NFRC	13'-0" x 18'-0"	222.8	0.30
31	Storage	Weathervane Windows	Vantage Series I	V3056	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 4'-0"	16.5	0.30
32	Garage	Weathervane Windows	Vantage Series I	V3056	PKC	Vinyl	2gl LoE Air	NFRC	3'-0" x 4'-0"	16.5	0.30
33	Garage	Weathervane Windows	Vantage Series I	V-33016	PKC	Vinyl	2gl LoE Air	NFRC	9'-0" x 11'-0"	13.5	0.30

EXTERIOR ENVELOPE DOOR SCHEDULE

Door Number	Room Location	Manufacturer	Model	Model No.	Door Type	Frame Material	Door Description	Rating Agency	Rough Opening	Rough Opening Area	U-Factor
18	Entry	Coole	SF		Swing	Fiberglass	3080 Entry	NFRC	3'-3" x 6'-1 1/2"	26.28	0.280
19	Foyer	Coole	SF		Swing	Fiberglass	4280 Entry	NFRC	4'-3" x 6'-1 1/2"	24.34	0.290
12	Great Room				Folding	Fiberglass	Nana Doors	NFRC	25'-8" x 8'-4"	208.25	0.280
13	Dining Room				Folding	Fiberglass	Nana Doors	NFRC	11'-0" x 8'-4"	91.63	0.280
29	Master Bedroom				Swing	Fiberglass	French Doors	NFRC	6'-3" x 8'-1 1/2"	50.50	0.280



SAZEI DESIGN GROUP, LLC
 6808 110th AVE N.E.
 KIRKLAND, WA, 98033
 TEL: (425) 214-2280
 FAX: (425) 885-6887

TAM RESIDENCE
 8916 N. MERCER WAY MERCER ISLAND WA. 98040
 Door and Window Legends and Exterior Envelope Opening Schedules

Revision	Date
1	3-14-14
2	3-26-14
3	4-15-14

Feb. 20th 2014
 DME Construction

MUS

SAZEI DESIGN GROUP, LLC

Sheet **A2.1**